



WOODCOCK COURT, READING, BERKSHIRE, RG7 1BZ  
£650,000 FREEHOLD

## A SUPERB EXTENDED FIVE BEDROOM DETACHED FAMILY HOME

Reading | 0118 4022 300 | [reading@winkworth.co.uk](mailto:reading@winkworth.co.uk)

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**DESCRIPTION:**

A well-presented five double bedroom detached family home in a quiet cul De sac set opposite woodland and a play area/green. The convenient location close to junction 11 of the M4 and with excellent access to local amenities and some great local schools make this the perfect family home. The property has been well maintained and developed by the current owners and includes a superb loft conversion which was completed in 2023 to create a second floor of living accommodation, including, two double bedrooms, a large built in wardrobe and a shower room. On the first floor there are three bedrooms including one which has been converted from two single rooms to create another spacious double room. The master bedroom includes a dressing area with 'his and hers' built in wardrobes and an en-suite bathroom. A family bathroom completes the first floor. The ground floor boasts a cozy living room with a bay window, the garage has been converted to create another flexible living space perfect for a study, family room or even a guest bedroom and the rear of the house has been extended to create a fabulous kitchen/diner/family room. The kitchen is by Wren and was fitted in 2021 with a breakfast area, composite work surface and a full range of integrated appliances including full height fridge and freezer, a Neff double oven and 5 burner gas hob, dishwasher, washing machine and microwave. There is a conservatory off the back of the house which gives access to the private rear garden with two large sheds. The property further benefits from air conditioning throughout, solar panels with 13.5kw of battery storage and Phillips Hue lighting in the kitchen and dining room. To the front of the house there is off road driveway parking for 2 cars. This delightful home would suit a family requiring access to great transport links and local amenities.

**AT A GLANCE**

- Extended and Renovated 5 Bedroom Home
- Loft Conversion with 2 Bedrooms and a Bathroom
- 3 Bathrooms and Ground Floor WC
- New Kitchen with Full Range of Integrated Appliances
- Converted Garage Creating an Additional Living space
- Air Conditioning Throughout
- Solar Panels with 13.5KW Battery Storage
- Driveway Parking







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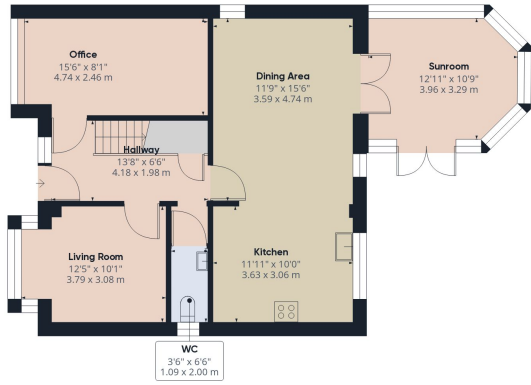


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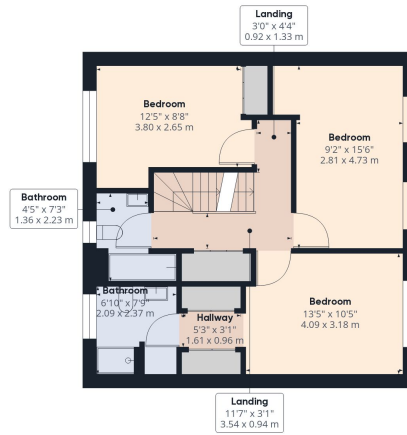




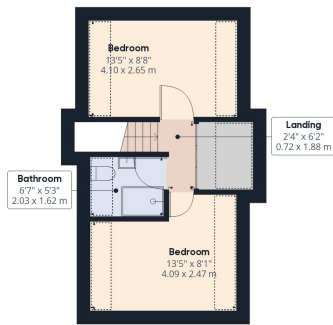




Ground Floor



Floor 1



Floor 2

Approximate total area<sup>(1)</sup>

1823.34 ft<sup>2</sup>  
169.39 m<sup>2</sup>

Reduced headroom

78.8 ft<sup>2</sup>  
7.32 m<sup>2</sup>

(1) Excluding balconies and terraces

⊞ Reduced headroom  
(below 1.5m/4.92ft)

While every attempt has been made to ensure accuracy, all measurements are approximate, not to scale. This floor plan is for illustrative purposes only.

GIRAFFE360

This floorplan is for illustration purposes only and is not to scale. The position and size of doors, windows, appliances and other features are approximate.

**Tenure: Freehold**  
**Council Tax Band: F**

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